

### PLANNING

Rev	Date	Description
C	10/15	Revised for planning (2019)
B	MAY 16	SITE BOUNDARY AMENDED
A	DEC 15	REVISED FOR PLANNING

Architects  
Project Managers  
Planning Consultants

**HIBBETT ASSOCIATES**

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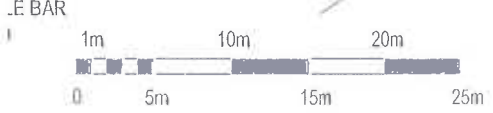
Client  
SCHOOL OF ECONOMIC SCIENCE

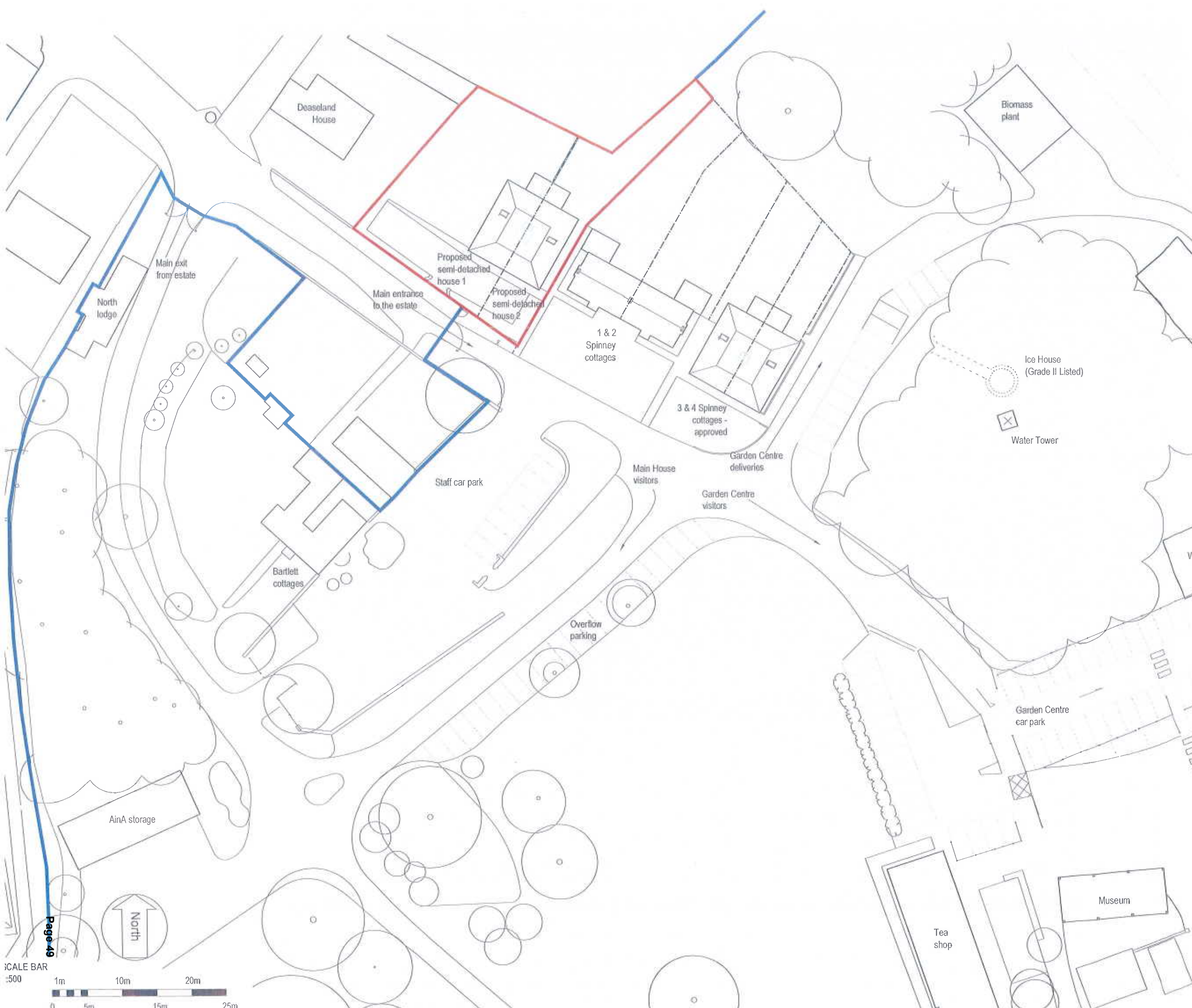
Job Title  
NEW SEMI-DETACHED HOUSES  
WATERPERRY ESTATE, OX33

Drawing Title  
EXISTING SITE PLAN

Scale	Drawn	Checked	Date
1:500 @ A3	CM	RI	OCT 15
Job No	Dwg No	Rev	
1523	001	C	

# Appendix 2





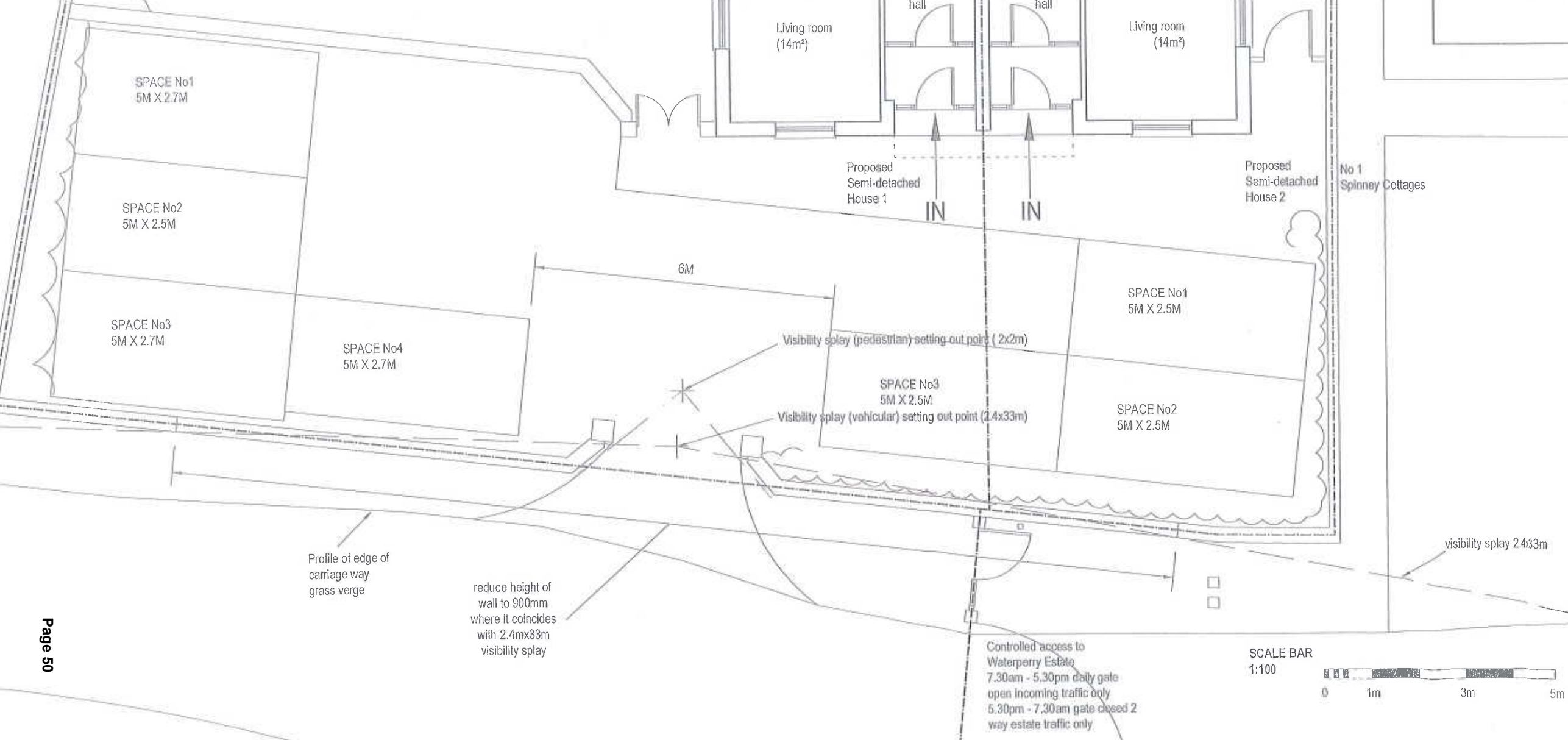
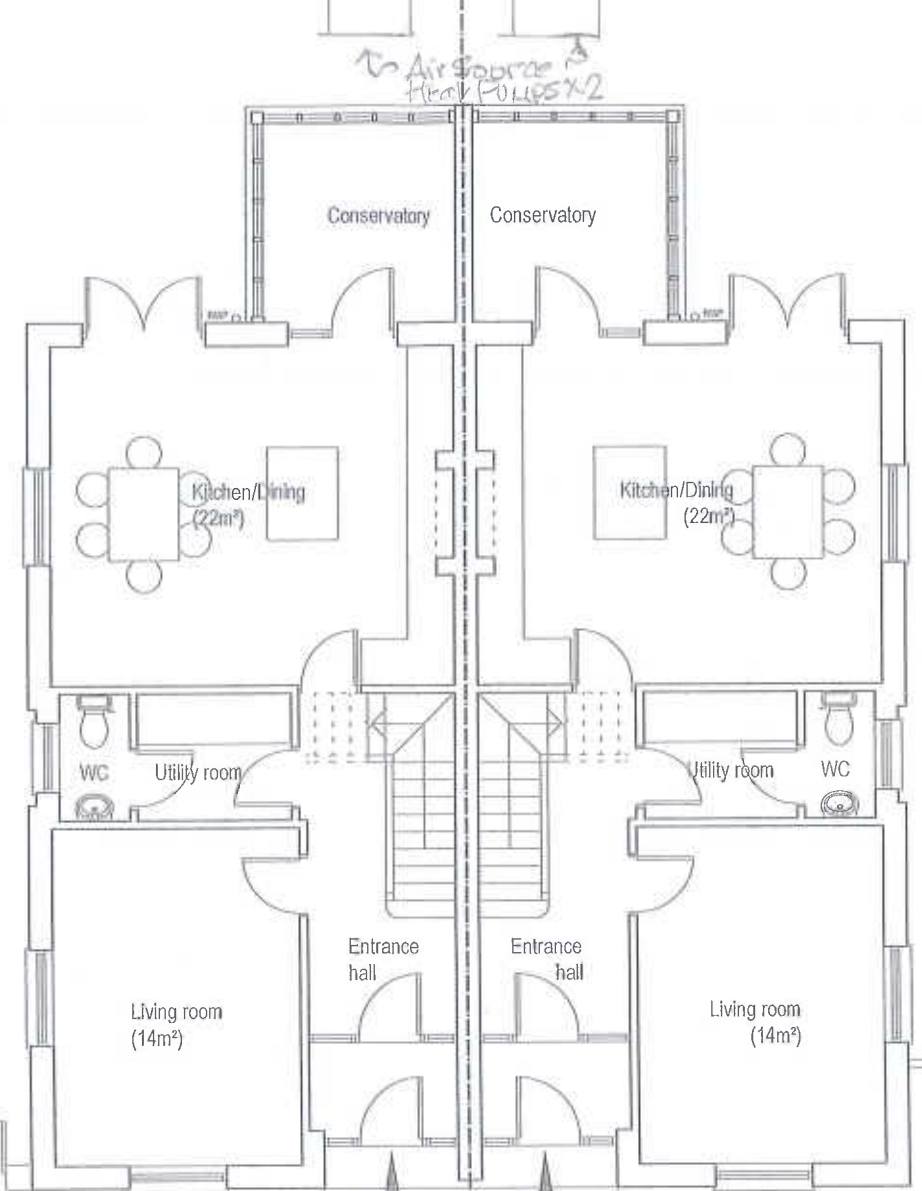
### PLANNING

Rev	Date	Description
B	05/23	revised for planning (2023)
A	10/19	revised for planning (2019)


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SCHOOL OF ECONOMIC SCIENCE			
Job Title			
NEW SEMI-DETACHED HOUSES WATERPERRY ESTATE, OX33			
Drawing Title			
PROPOSED SITE PLAN			
Scale	Drawn	Checked	Date
1:500 @ A3	CM	RI	OCT 15
Job No	Dwg No	Rev	
1523	021	B	

SCALE BAR  
 1:500  
 0 5m 10m 15m 20m 25m  
 North ↑  
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No 1 Spinney Cottages

### PLANNING

Rev	Date	Description
D	06/23	revised for planning (2023)
C	05/23	revised for planning (2023)
B	10/19	revised for planning (2019)
A	AUG 16	PARKING UPDATED

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Job Title:  
 NEW SEMI-DETACHED HOUSES  
 WATERPERRY ESTATE, OX33

Drawing Title:  
 PROPOSED GROUND FLOOR PLAN

Scale	Drawn	Checked	Date
1:100 @ A3	CM	RI	OCT 15
Job No	Draw No	Rev	
1523	023	D	



Proposed Semi-detached House 1

Proposed Semi-detached House 2

No 1 (Spinney Cottages)

No 2

No 3

Form new opening in existing wall with displayed entrance and new piers set out in compliance with required pedestrian visibility splay

Existing stone wall to front boundary height reduced to 900mm where it coincides with required vehicular visibility splay (2.4x33m)

West elevation



East elevation

### PLANNING

Rev.	Date	Description
C	06/25	revised for planning (2023)
B	05/05	revised for planning (2023)
A	10/19	revised for planning (2019)

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Client: SCHOOL OF ECONOMIC SCIENCE

Job Title: NEW SEMI-DETACHED HOUSES WATERPERRY ESTATE, OX33

Drawing Title: PROPOSED ELEVATIONS SHEET 1

Scale: 1:100 @ A3	Drawn: CM	Checked: RI	Date: OCT 15
Job No: 1523	Dwg. No: 025	Rev: C	

SCALE BAR  
1:100





North elevation



Page 52  
South elevation


SCALE BAR  
1:100

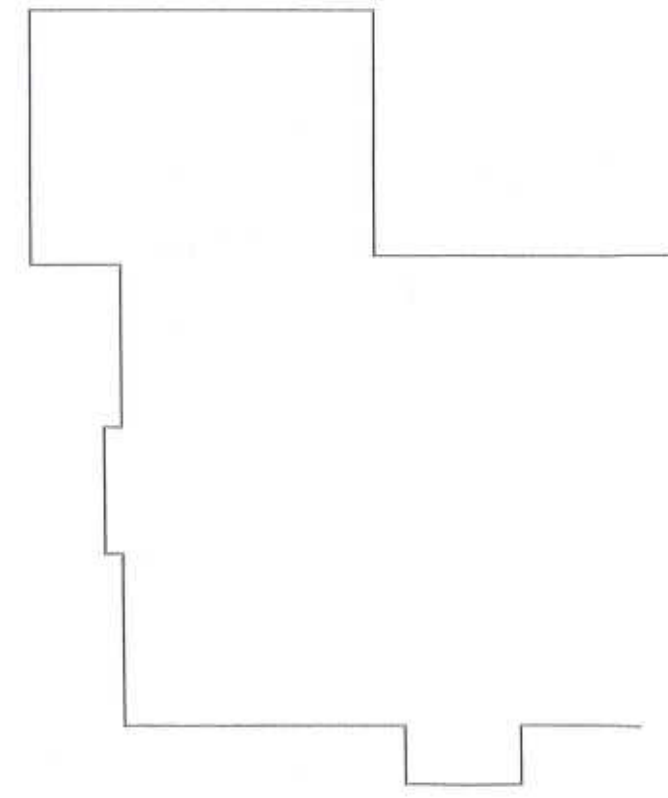
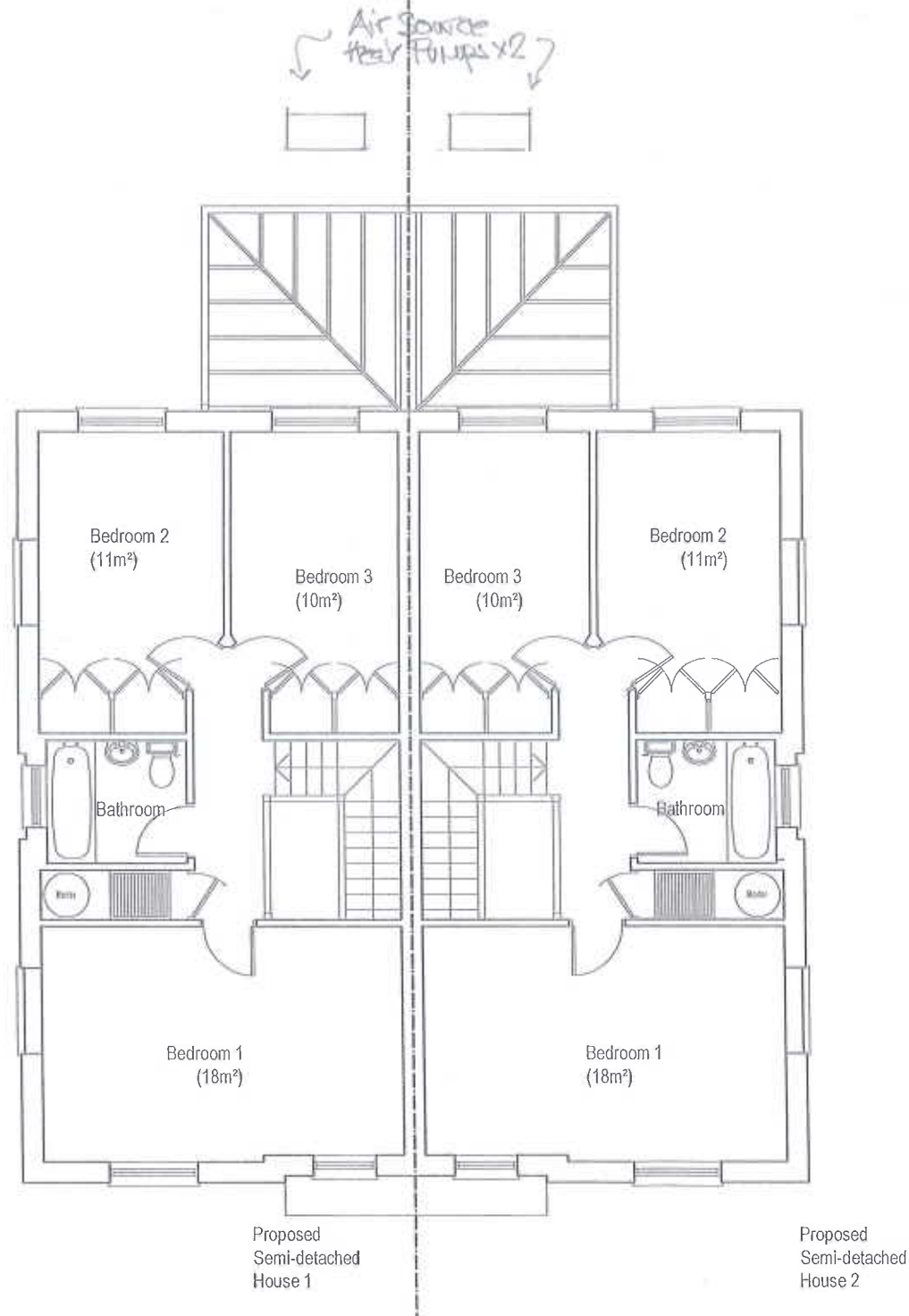


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Rev.	Date	Description
D	06/23	revised for planning (2023)
C	05/23	revised for planning (2023)
B	10/19	revised for planning (2019)
A	AUG 16	WEST FACING BLIND WINDOWS ADDED

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Client			
SCHOOL OF ECONOMIC SCIENCE			
Job Title			
NEW SEMI-DETACHED HOUSES WATERPERRY ESTATE, OX33			
Drawing Title			
PROPOSED ELEVATIONS SHEET 2			
Scale	Client	Checked	Date
1:100 @ A3	CM	RI	OCT 15
Job No	Dwg No.	Rev.	
1523	026	D	



No 1  
Spinney Cottages

**PLANNING**

Rev	Date	Description
D	06/23	Revised for planning (2023)
C	05/23	Revised for planning (2023)
B	10/19	Revised for planning (2019)
A	AUG 16	WEST FACING BLIND WINDOWS ADDED

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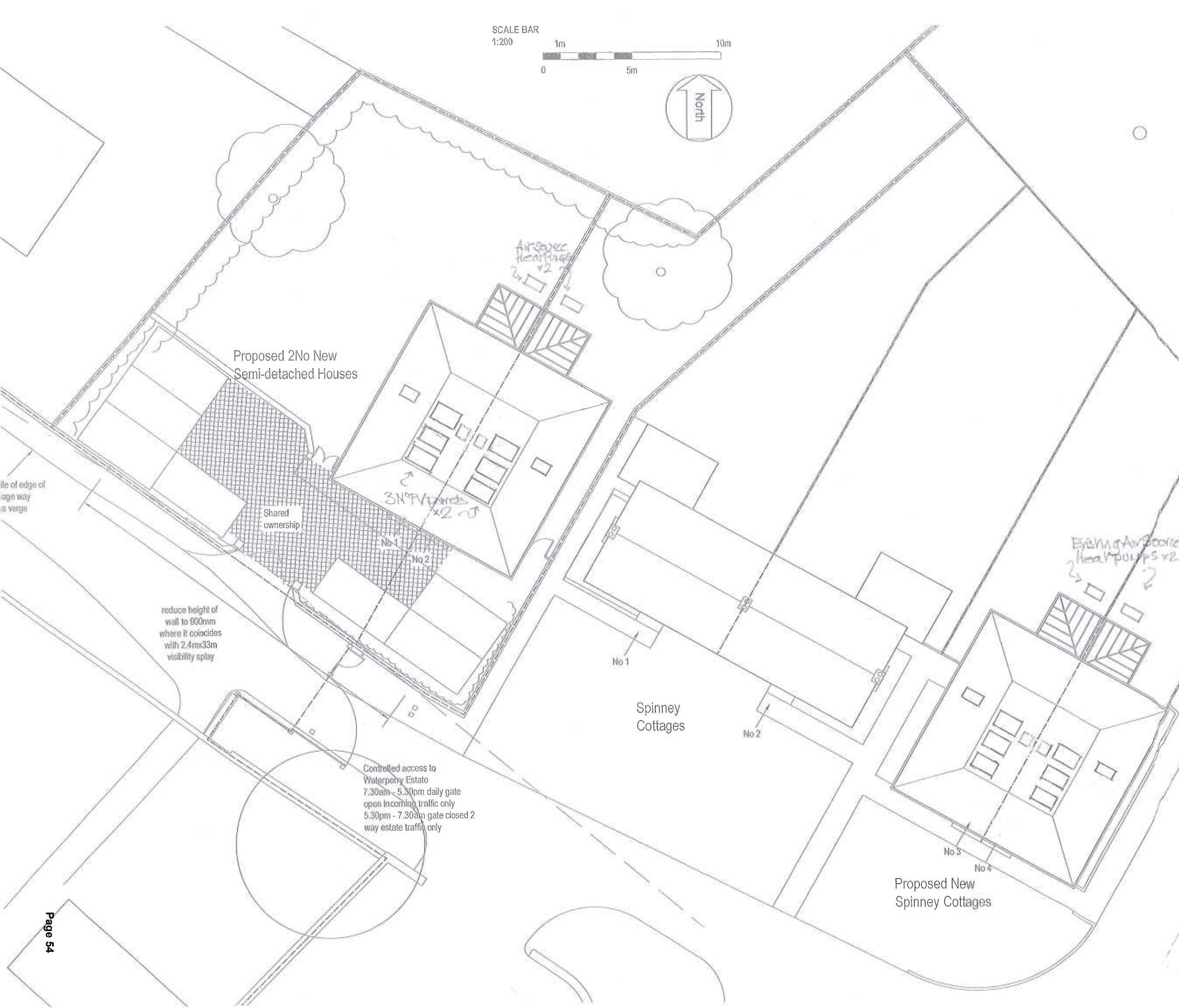
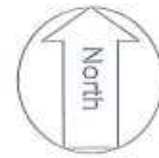
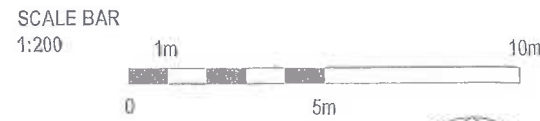
Client  
 SCHOOL OF ECONOMIC SCIENCE

Job Title  
 NEW SEMI-DETACHED HOUSES  
 WATERPERRY ESTATE, OX33

Drawing Title  
 PROPOSED FIRST FLOOR PLAN

Scale 1:100 @ A3	Drawn CM	Checked RI	Date OCT 15
Job No 1523	Dwg No 024	Rev D	





NOTES

Highways issues

Visibility issues from crossover

2 x 2m pedestrian visibility can be achieved

2.4 x 43m vehicular visibility this need an 'on site' assessment, given location of gate to Waterperry estate traffic in both directions will be traveling relatively slowly and full 2.4 x 43m visibility splay should not be necessary

PLANNING

Rev	Date	Description
D	06/13	revised for planning (2013)
C	05/12	revised for planning (2012)
B	10/11	revised for planning (2011)
A	AUG 16	PARKING UPDATED

**HIBBETT ASSOCIATES**  
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Job Title			
NEW SEMI-DETACHED HOUSES WATERPERRY ESTATE, OX33			
Drawing Title			
PROPOSED SITE ROOF PLAN			
Scale:	Drawn:	Checked:	Date:
1:200 @ A3	CM	RI	OCT 15
Job No:	Dwg. No:	Rev:	
1523	022	D	